

ARCHITECTURAL DESIGN GUIDELINES

BRACKENRIDGE

PRIVATE RESIDENTIAL ESTATE

The Architectural Language of Brackenridge is derived from the precedent of the vernacular buildings and settlements of the Southern Cape Region of South Africa. It is, however, a contemporary language which employs current building and construction technology whilst taking into cognisance the natural context of the region.

The Estate Master Plan and Design guidelines seek interdependence between the buildings, structures and planting, in order to create a consistent whole at one with nature. Landscape and Buildings are viewed as being necessarily continuous and buildings are designed to blur the boundaries between inside and outside, between court and garden, between garden and parkland.

The Architectural Design Guidelines strive to reinforce and control the character of a settlement in harmony with the landscape.

The INTENTION is to allow diversity and individual expression whilst protecting the buyer's investment through application of PRINCIPAL DESIGN CRITERIA AND ACCEPTABLE materials and features.

1. The Building Control Process

INTRODUCTION

- 1.1. The purpose of the HOA is, amongst other things to regulate and control development within Brackenridge to the benefit and best interest of the community and satisfaction of the Local Authority.
- 1.2. The Brackenridge Architectural Review Committee (BARC) is appointed by Brackenridge (Pty) Ltd. The purpose of the BARC is to protect the long-term values of the properties at Brackenridge by acting as an "aesthetic watchdog". All plans to be submitted to the HOA, to be forwarded to the BARC, as set out below, for scrutiny.
- 1.3. Owners of property on Brackenridge must obtain prior written approval from the BARC for:
 - New buildings to be erected including the external appearance and internal plans
 - Any external alterations or additions, and structures and installations of any nature which may have a visual impact from outside the property.
 - External re-painting or re-coating of any exterior surfaces
- 1.4. The BARC will take a global view of what is most beneficial to Brackenridge whilst balancing the individual requirements of owners of properties. All submissions will be treated on merit and discussion entered into.

- 1.5. The BARC may recommend deviations from these guidelines in individual cases where it deems appropriate for approval by the Brackenridge Home Owners Association (HOA) trustee committee.
- 1.6. The following are not subject to these guidelines but nevertheless require approval(s) referred to above: the clubhouse, the gatehouse and any of their ancillary buildings.
- 1.7. If it is intended to use the dwellings for business purposes additional to single residential use, the relevant municipal regulations must be complied with in respect of both the plans and the subsequent use after occupation.
- 1.8. Where reference is made to approval being required anywhere in this document such approval must be in writing and a copy thereof to be lodged with the HOA / BARC.
- 1.9. This document must be read in conjunction with the HOA constitution and any regulations made thereunder.
- 1.10. The document does not take preference over any statutory provisions.
- 1.11. The BARC evaluates only the aesthetics of any submission and cannot take any responsibility for technical, structural, health or safety standards or for non-compliance with municipal or any statutory requirements.
- 1.12. Copyright exists on this edition of Brackenridge design guidelines and reproduction in full or in part without the written permission the HOA is forbidden.
- 1.13. The HOA, subject to the terms of the HOA constitution, may alter any part or requirements in these guidelines, and may at any time decide to appoint or replace members of the BARC.

THE DESIGN REVIEW PROCESS

- 1.1. Only Architects and Designers registered with South African Council for the Architectural Profession (SACAP) as a Professional Architect (PA) may submit designs for dwellings exceeding 750 m² and Designers registered as a Professional Senior Technologist (PST) and Professional Technologist (PT) may submit designs of dwellings up to 750 m².
- 1.2. On initial application to BARC, Architects and Designers must submit a copy of their registration certificates as proof of registration with SACAP.
- 1.3. Architects / Designers can obtain documentation and plans relevant to the site from HOA and the Plettenberg Bay Municipality.
- 1.4. Sketch plans, together with the **latest** Brackenridge Quick Checklist and site contour plan must be submitted to BARC for approval.
- 1.5. Drawings will be returned after scrutiny, together with the relevant comments.
- 1.6. Working drawings to be submitted for final approval.
- 1.7. After approval of plans by BARC, no variations to the external appearance may be made without the prior approval of BARC.

- 1.8. A Fee of R 5000.00 will be charged for each Plan Scrutiny
- 1.9. All queries relating to the submission procedures must be directed to the Brackenridge Estate manager or BARC.

BUILDING CONTROL

- 1.1 Only builders approved by the HOA may undertake construction in Brackenridge
- 1.2 A building fee of R20 000 will be charged before construction may commence, of which R5000 is refundable on completion provided no damage to the Estate infrastructure has occurred during building operations e.g. damage to paving, street lights, signage, etc.
- 1.3 The HOA Committee will determine the hours and conditions that will apply to building contractors and building operations. Please note Brackenridge rules for Contractors.
- 1.4 The responsibility lies with the individual stand owner to ensure that the builder complies with the Builder Conduct rules of the Estate. Where the conduct of any Builder is in conflict with the rules the HOA may at its sole discretion, impose a fine on the Stand owner.
- 1.5 All compliance documents are freely available on Brackenridge's website and must be submitted to the HOA prior to start of construction.
- 1.6 No building may commence without the appropriate shade cloth boundary fence, Brackenridge building sign and electrical and water meters installed.

2 PRINCIPLE DESIGN CRITERIA

2.1 GROUP OF BUILDINGS

- 2.1.1 Houses are not to appear monolithic. This can be achieved by applying the following conditions:
- 2.1.2 No wall can be longer than 10m without relief. Should the wall be longer it must be broken up with recesses of at least 600mm deep or the wall must step in our out again with a minimum dimension of 600mm.
- 2.1.3 The roofs could consist of a series of roofs with double pitches and linked with flat metal or concrete roofs. No **large block of roof** over the whole building or a major portion of the building will be permitted.
- 2.1.4 No hipped roofs are permitted (Dutch hipped roofs are allowed).

2.2 COURTYARDS

The use of internal courtyards is encouraged.

External courtyards will be permitted outside of the building lines with a maximum area of 20% of the area between the building line and the site boundary, measured on the side of the courtyard. Courtyard walls will not be permitted to be closer than 1 meter from any site boundary. Where visible from the street, courtyard gates are required.

2.3 CONTOURS

It is recommended that the footprints of the house take into account the contours of the Erf. Where possible the length of the footprint should run with the contours and not across the contours.

2.4 ENCLOSURE

The enclosure of ERVEN is to be kept to a minimum. Perimeter FENCING AND WALLING is prohibited. Low fences or walls will however be permitted along the building lines. Low and unobstructive "WALL ELEMENTS" may be used to demarcate the street and house boundary. VERGES are to be planned in a way that will reinforce the merging of BUILDINGS with their NATURAL settings.

2.5 PRIVACY

Privacy may be achieved through the use of:

- STRUCTURED PLANTING, LATTICE SCREENS, SHUTTERS, PERGOLAS and any combination of the above architectural devices.
- Courtyards and enclosed or screened Verandas
- Low fencing (1.2m) will be allowed to the perimeter of the building platform

2.6 ARCHITECTURAL STYLES PROHIBITED

Cape Dutch, Edwardian, Victorian, Provencal / Tuscan, Neo-Classical, timber frame structure, log cabin, and High Tech Architectural styles are not allowed in the Estate. Excessive glazing is also not permitted.

3 COVERAGE AND HEIGHT RESTRICTION

COVERAGE

An erf site plan sketch is available for each erf. This plan defines the erf area and building lines. The area within the building lines is referred to as the building platform.

The allowable HOUSE AREA, however, will be 70% of the building extent (i.e. to allow for significant courts to be incorporated within the building envelope area) pergolas, verandas and car ports are not included in this coverage area. A minimum house area of 200m² is required.

Each site will have a specific street setback (building line). These setbacks are varied throughout the scheme to reinforce a sense of fragmentation and variety within the streetscape.

Underground basements are allowed, provided they are within the footprint of the building

HEIGHT RESTRICTION

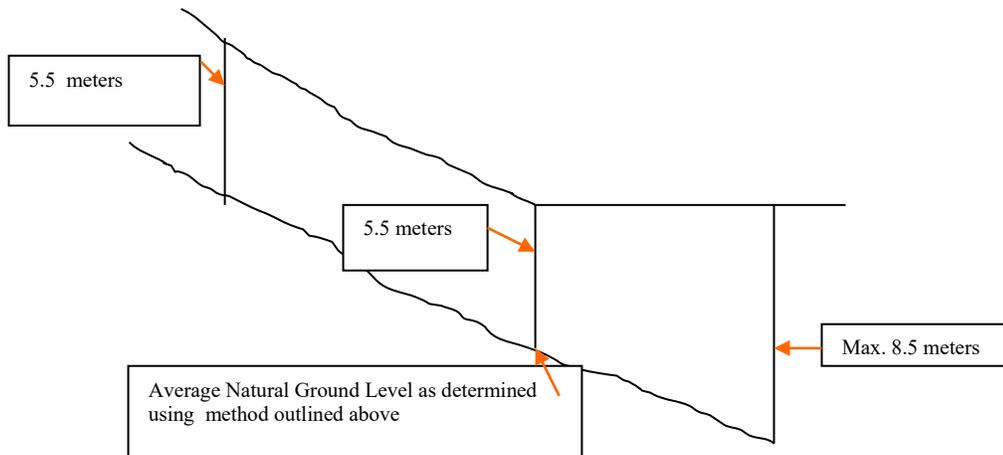
In order to maximise the flexibility of design given the prevailing slopes of Brackenridge and to be in keeping with the Municipal Regulations the following method is used to determine the height restrictions

Single Story Erven

- ❖ For Single storey erven the average natural ground level must be calculated. This is done by using the level value at the various corners of the Building Platform, adding them together and dividing the total by the number of corners. At any point upslope from the position of the average natural ground level contour the maximum roof height is 5.5 meters above the original level of that point and from the upslope contour. At any point downslope from the position of the average natural ground level contour, the maximum roof height is 5.5m above the average ground level, or 8,5m above the original level of that point, whichever is lower.

Refer to diagram 1.

Diagram 1



At any point on the erf the maximum eaves height is 1,5m below the maximum roof height at that point.

The minimum roof pitch is 22.5 degrees

Double Story Erven

At any point on the erf the maximum roof height is 8.5m above the original ground level of that point.

At any point on the erf the maximum eaves height is 1,5m below the maximum roof height at that point.

The minimum roof pitch is 22.5 degrees

4 BUILDING ELEMENTS

4.1 COLOUR

All building elements, including brickwork, roofs, gutters and downpipes, stained, sealed or painted timber elements hard landscaping elements and any other structures whatsoever, must be to colours approved by BARC

4.2 ROOFS

A dual pitched roof with a minimum slope of 22,5 degrees is required over a minimum of 70% of the house footprint.

No hipped roofs will be permitted. Dutch hipped roofs are however allowed.

No continuous roof apex or eaves line may exceed 10 meters in length

Roof Gutters must be of simple standard profile section. Colours should suite the building and not be contrasting.

The following roof materials are acceptable:

Pitched roofs:

Corrugated profile metal sheeting

Flat concrete tiles

Victorian Profile Fibre Cement

Natural slate tile

Everite roofing Slates

Flat Roofs:

Corrugated profile metal sheeting

Concrete covered in grey / brown pebble chip surrounded by Parapet wall maximum 500mm high.

Thatch roofs are not allowed.

Roof Appendages:

Normal D.S.T.V. dishes and aerials will be allowed to a height not higher than the apex of the nearest pitched roof or chimney height where applicable.

Limited Solar heating elements will be allowed at the discretion of the BARC.

Water tanks, geysers, and heat pumps are allowed, provided that they are concealed or screened to BARC approval.

Skylights integral and at the same pitch as the roof will be allowed.

Protruding skylights are NOT allowed

Exposed air conditioning units are NOT allowed

"Ham" aerials, antennas, windmills or any other protruding structures are NOT allowed.

Consideration may be given to wind assisted electric generating structures.

Where the erection of a wind assisted electric generating structure is requested, a formal site plan is to be submitted showing location and height. The height should not be higher than the owner's roof height immediately opposite the structure. The structure should not significantly impact on the primary view of houses within close proximity, and at BARC discretion, may be subject to neighbour approval. The windmill should not be ornamental in nature and any submission is subject to BARC approval and does not necessarily set a precedent for future requests and approvals.

4.3 WALLS

The following are allowed for all walls including courtyards, yard walls, plinths, piers for pergolas and garden walls

Brick Walls:

280 cavity brickwork to house external walls, 220mm and 115mm brickwork to internal walls and external yard walls

Allowed finishes to Brick walls:

Bagged, (should be acceptable to the eye) finished and painted.

Semi face brick work to Plinths, provided the plinth is not excessive in height

Textured plaster, stipple plaster and painted

Tinted Plaster, smooth or standard stipple, as per selected specifications available from BARC

Basic, simple mouldings, (square edged with no stepped mouldings) around openings.

"Ship Lap" Cladding will be allowed for a maximum area of 20% of overall facade area, painted, sealed or stained

All externally visible paint colours to be subject to BARC approval

Semi face Brick work will be allowed to plinths only

No smooth, dressed cladding permitted, such as polished granite.

Stone Walling

Stone walling will be allowed to plinth areas only and for low garden walls not exceeding 800mm in height.

Type of stones permissible:

Natural sandstone or similar – either dry packed or mortar jointed, not to be too rustic.

Artificial stones subject to BARC approval

No smooth dressed cladding permitted such as polished granite

Prohibited Structures and Finishes

Any timber frame exterior wall whether it be a main structure or an addition.

Plaster effects such as Spanish plastering, ornate mouldings, unpainted face bricks, or clinker brick stone (other than at plinth level or on low garden walls) reflective finishes,

Any visible plumbing or air conditioning units.

No smooth, dressed cladding permitted, such as polished granite.

No exposed Columns or "piles" will be acceptable to underpin building structures. However Timber decks not more than 1.5m above ground level will be allowed to have exposed columns for support-

4.4 WINDOWS & DOORS

Windows may be timber, painted, sealed or stained or aluminium (powder coated or anodized), in all cases to colours to BARC approval

Windows are to be of substantial section dimensions, minimum 45mm Al section

Windows of vertical proportion are preferred

Small pane windows and dormer windows are permissible.

GLASS to be clear or plain obscure translucent glass with no patterns, UV glass permissible, safety/security glass where necessary

Glass facades to comply with SABS specifications re size, glass thickness and heat requirements.

Sliding doors or pairs of casement doors are to be shielded where possible by PERGOLA'S or overhanging sunscreen features to meet heat specifications.

Prohibited Window Features:

No steel frames,

No reflective mirror glass or colour glass,

No external Burglar bars (Internal burglar bars Subject to B A R C approval),

No arches which are greater than 1:10.

No Winbloks.

No vertical louvers

No curtains or blinds which form an arch or other shape from the exterior.

4.5 SHUTTERS & SCREENS

Shutters and screens may be perforated, louvered or slatted and may be side hung, top hung or sliding

Shutters and screens may be of timber or aluminium material

Prohibited:

No false / fake shutters, no roller type security shutters to exterior of windows

4.6 PATIOS, PERGOLAS, VERANDAH'S & BALUSTRADES

Patio structures may be of plinths, pillars and beams constructed of timber or brickwork and concrete elements.

All construction elements to comply with the above relevant building specifications

Patio canvas awnings may be grey, beige or whites, but no stripes or patterns allowed

Balustrades to be of simple Brickwork, timber, steel, aluminum, glass or other materials as approved by BARC

Prohibited Features

No waved, bi-curved lines for patios and veranda's

Balustrades:

No curving or filigree/"broekieslace" balustrades, no Victorian "cross type", no styles as under "Architectural Style" above.

4.7 GARAGES CARPORTS (OUT BUILDINGS)

Garages and outbuildings must comply with all above relevant building element specifications

Garages and outbuildings must be linked to the main house structure with courtyard walls

Garage doors to be horizontal slatted timber or aluminum

Prohibited:

Precast garaging systems

Tubular metal or shade net car ports

4.8 SWIMMING POOLS

Swimming pools should preferably be recessed at ground level

Rim flow pools are allowed subject to limited height of overflow facade, to BARC approval

Fencing to conform to SABS safety and Council Requirements. Walls to pool courts are preferred instead of steel or timber fencing.

Paving or decking must comply with the general standard

Pool filtration equipment must be screened and positioned in such a manner so as to avoid noise irritation to neighbours

Prohibited:

No above ground portable pool allowed.

No visible pumps/motors/equipment.

4.9 COURTYARD ENCLOSURES (including Yards and courts for Pets)

Courtyard walls may not exceed 1,8m height

Low garden walls should not exceed 800mm height

Low garden walls and fences may be stone clad, brick, timber picket. or steel palisade with smooth plastered brick piers with caps and simple detail, painted fair face.

Green "Bekeart" type mesh fencing will be allowed together with green palisade fencing, without pillars.

Gates required to yards visible from the road

Prohibited:

Concrete panels, Precast Walling

4.10 HARD LANDSCAPING

To be integrated with the "LANDSCAPE GUIDELINES" available on Brackenridge's website.

Driveway edges are to be a minimum of 2m from the adjacent site boundary. The Carriage Way Crossing is to be a maximum width of 5 meters.

Panhandle driveways will be approved by BARC on a site specific basis

Driveways and paving may be of the following materials:

Stone chips, grey or brown landscape	Exposed stone chip Aggregate pavers.
Stone pavers or simulated stone	Revel stone and Smart stone pavers.
Slate, from black to multi colour.	Quarry tiling
Granite or artificial cobbles as per Revel stone and Smart stone.	
Natural coloured tiling or terrazzo's (browns, greys, beiges).	

4.11 SIGNAGE, STREET FURNITURE & EXTERNAL LIGHTNING

All as per the "LANDSCAPING GUIDELINES". Available on Brackenridge's website.

4.12 SOFT LANDSCAPING, ROAD VERGE PLANTING ETC.

All as per the "LANDSCAPING GUIDELINES".

Applications to the BARC may be made for a relaxation regarding the alteration to the existing Landscaping outside the normal Building Platform. Any such relaxation will be at the sole discretion of the BARC

All sidewalks shall after construction be suitably grassed or with special permission landscaped leaving a 1.5m verge for pedestrians.

No concrete ballards, balls, rocks or plastic indicators may be used to cordon off sidewalks except during the construction phase of erven in the vicinity.

External Lighting – It is recommended that "cool white" lights be used for exterior lighting in order to avoid glare

4.13 PRIVATE BOREHOLES

Private boreholes will not be considered on Brackenridge primarily due to the concern re lowering of the water table in the proximity of existing dwellings that may have been built on clay strata

4.14 GENERATORS

See Brackenridge Generator policy on website.